

**CHANGE
ORDER**

CO #07R	OWNER	<input type="checkbox"/>
	ARCHITECT	<input type="checkbox"/>
	CONTRACTOR	<input checked="" type="checkbox"/>
	FIELD	<input type="checkbox"/>
	OTHER	<input type="checkbox"/>

AIA DOCUMENT G701

PROJECT: Brookline High School
115 Greenough Street
BROOKLINE, MA 02445

CHANGE ORDER NUMBER: 007-REV

DATE: 01/11/23

ARCHITECT'S PROJECT NO.:

TO CONTRACTOR:

CONTRACT DATE: March 29, 2022

LAMBRIAN CONSTRUCTION Corp.

CONTRACT FOR: 3rd Floor Renovation & Quad Repairs

The Contract is changed as follows:

Approved Values

PCO#03 - Removal of Debris in Basement Pit	\$7,017.00
PCO#04 - Coring for additional testing @ Basement Pit	\$6,392.00
PCO#05R - Tile Work # 3rd Floor Corridors	\$83,800.00
PCO#08 - Per RFI 11: Corridor Fire Doors demolition	\$2,336.00
PCO#10 - Per RFI 58: Corridor Doors Demolition	\$1,125.00
PCO#30R - Corridor Benches Back Panels	\$27,974.00
PCO#57 - Landscape: New Planting at Quad	\$1,292.00

TOTAL

\$129,936.00

APPROVED:



 President

Not valid until signed by the Owner, Architect and Contractor.

The original (Contract Sum) (Guaranteed maximum Price) was	\$8,482,000.00
Net change by previously authorized Change orders	\$427,835.60
The (Contract Sum) (Guaranteed maximum Price) prior to this Change order was	\$8,909,835.60
The (Contract Sum) (Guaranteed maximum price) will be (increased) (decreased) (unchanged) by this Change Order in the amount of	\$129,936.00
The new (Contract Sum) (Guaranteed maximum Price) including this Change order will be	\$9,039,771.60

The Contract Time will be (increased) decreased) (unchanged) by
 The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

William Rawn Associates, Architects Inc.

Lambrian Construction Corporation

Town Of Brookline

ARCHITECT

CONTRACTOR

OWNER

27 School Street, Boston ma 02108

420 Turnpike Street, Canton, Ma 02021

333 Washington St, Brookline, Ma 02445

Address

Address

Address

BY Andrew Jonic, AIA
Assoc. Principal

BY James Lambrianidis - President

BY

DATE 1/12/2023

DATE 12/28/2022

DATE

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G701-1987

June 10, 2002

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
 115 Greenough Street
 BROOKLINE, MA 02445

COP 03 - CHANGE ORDER PROPOSAL 03

OBJECT:

Removal of debris @ pit in the basement

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
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Quote:

See NG Environmental Proposal - dated 06/09/22

\$5,200.00

G.C. Fees (10%) - ADD

% 10.00%

\$520.00

\$5,720.00

Bond Fee (1.5%) - ADD

% 1.50%

\$85.80

\$5,805.80

TOTAL

\$5,805.80

Labor: ADD

(1) superintendent - 8hrs @ \$97.50/hr

hrs 8 \$97.50

\$780.00

Insurance and Tax on Labor (33%)

% 33%

\$257.40

Subtotal

\$1,037.40

G.C. Fees (15%) - ADD

% 15.00%

\$155.61

\$1,193.01

Bond Fee (1.5%) - ADD

% 1.50%

\$17.90

Subtotal

\$1,210.91

TOTAL

\$1,210.91

\$7,016.71

SAY:

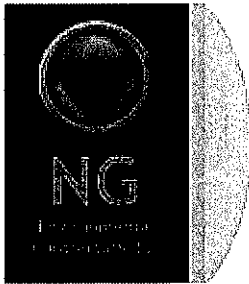
\$7,017.00

TOTAL ADD AMOUNT: Seven Thousand Seventeen Dollars

Sincerely,

Alex Galanos - Project Manager

Lambrian Construction, Corp



NG Environmental Contractors, Inc.

Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/09/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: Selective demolition

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of \$ 5,200.00 (Five Thousand Two Hundred Dollars) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK:

Removal and disposal of construction debris at pit basement level

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

June 10, 2002

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
 115 Greenough Street
 BROOKLINE , MA 02445

COP 04 - CHANGE ORDER PROPOSAL

OBJECT:
 Cost to perform coring services at pit (spinkler room) for additional testing and shoring reinforcement of pit and tunnel

Note:
 Cost for engineering details of cores: EXCLUDED
 Cost of core repairs/infill: EXCLUDED

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
Quote:						
See LOTHROP Quote, dated 06/10/2022						
	A) Core samples for Engineering assessment	LS	1	\$3,250.00	\$3,250.00	
	C) Additional Shoring Scope	LS	1	\$2,475.00	\$2,475.00	
	Subtotal				\$5,725.00	
	G.C. Fees (10%) - ADD	%	10.00%		<u>\$572.50</u>	
					\$6,297.50	
	Bond Fee (1.5%) - ADD	%	1.50%		<u>\$94.46</u>	
	TOTAL				\$6,391.96	\$6,391.96
					SAY:	\$6,392.00

TOTAL ADD AMOUNT: Six Thousand Three Hundred Ninety Two Dollars

NOTE:
 B) Deduct GPR Technology, per attached quote

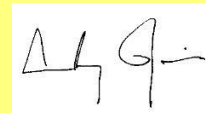
LS	1	\$850.00	\$850.00
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Sincerely,

Alex Galanos - Project Manager
 Lambrian Construction, Corp

Recommended for approval by the Town of Brookline

A. Jonic
 6/13/22



Alex Galanos

From: Andrew Jonic <AJonic@rawnarch.com>
Sent: Friday, June 10, 2022 1:31 PM
To: Alex Galanos
Cc: Tony Guigli; andyvo@hillintl.com; Parks, Ian; Warrington, Martin; Anthony Whitman; James Cusolito; Jim Lambrianidis
Subject: RE: BHS_ 00834-22 CO-1 Proposal for Pit Coring
Categories: BROOKLINE H.S.

Hi Alex,

Our comments:

The engineer for the shoring company should submit a proposed detail to infill the cores. Another firm can fill them in; however the "fix" should come from the shoring structural engineer.
Other than that, please submit the proposal formally like the other changes orders we've reviewed today.

Andy

Andrew Jonic AIA
Senior Associate
c. 617.548.4275

WILLIAM RAWN ASSOCIATES | Architects. Inc.

27 School Street
Second Floor
Boston, MA 02108
t. 617.423.3470
www.rawnarch.com

From: Alex Galanos <agalanos@lambrian.com>
Sent: Friday, June 10, 2022 12:45 PM
To: Andrew Jonic <AJonic@rawnarch.com>
Cc: Tony Guigli <tguigli@brooklinema.gov>; andyvo@hillintl.com; Parks, Ian <IanParks@hillintl.com>; Warrington, Martin <MartinWarrington@hillintl.com>; Anthony Whitman <awhitman@lambrian.com>; James Cusolito <jcusolito@lambrian.com>; Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: BHS_ 00834-22 CO-1 Proposal for Pit Coring

[External]

Andrew,

Please see Lothrop's proposal below for additional work to be performed at the Pit in the basement. Please review and let us know if it is acceptable to proceed. I will prepare a change order.

Thank you,

ALEX GALANOS
Project Manager / Estimator

Lambrian Construction Corp.
420 Turnpike Street
Canton, MA 02021
T. 781-461-1100
F. 781-461-9885



Hi Alex,

Please find pricing for our team to perform coring services at Brookline High School below as requested:

a.) Core Samples for Engineering Assessment:

1. Subcontractor GPRS, Inc to provide service to identify slab thicknesses, identify stratum, define location of structural elements in slab, and locate underground utilities if present where coring samples must be taken at three (3) locations;
2. Coring drill equipment rental;
3. One (1) foreman for one (1) 8-hour shift to take core samples at three (3) locations;
4. Engineer's recommendations shall be provided for repair to coring locations;
5. Repair to locations where core samples must be taken to be performed by others.

TOTAL PRICE..... \$3,250.00 LUMP SUM

b.) Deduction if GPR technology provides adequate information

Reduce the total price listed above in item "b" if GPR technology provides adequate information and coring is not required.

TOTAL DEDUCTION..... (\$850.00) LUMP SUM

c.) Additional Shoring Scope:

This price includes additional labor and equipment required to modify design, install, and remove shoring inside 6' W X 20' L X 53" deep cavity in the fire protection room.

TOTAL PRICE..... \$2,475.00 LUMP SUM

Thank you,

Patrick

Patrick R. Lothrop

President & CEO
Lothrop Companies, Inc
30 Winter Street
Malden, MA 02148-1426

Cell: (617) 817-0356
Office: (781) 324-3021
Fax: (781) 324-3021
Web: www.lothropco.com

Scaffolding & Shoring Specialists | Lothrop Co



Alex Galanos

From: Alex Galanos
Sent: Thursday, June 16, 2022 12:09 PM
To: Andrew Jonic
Cc: Colleen de Matta; Mark Borreliz; Tony Guigli; andyvo@hillintl.com; Parks, Ian; Kalous, Paul (PaulKalous@hillintl.com); Jim Lambrianidis
Subject: RE: BROOKLINE HS_ Tiles Proposal Breakdown

Andrew,

Per your request, below is the cost breakdown:

- Furnish & Install cost of New Tiles: **\$40,310.00**
- Cost of Cleaning, Prep and Installation of Salvaged Tiles: **\$41,055.00**
- Cost to Repair & Clean existing Tiles @ 3rd Floor Corridor: **\$ 27,435.00**

Let me know if you have any questions.

Thank you,

ALEX GALANOS
Project Manager / Estimator

Lambrian Construction Corp.
420 Turnpike Street
Canton, MA 02021
T. 781-461-1100
F. 781-461-9885



From: Andrew Jonic <AJonic@rawnarch.com>
Sent: Tuesday, June 14, 2022 11:40 AM
To: Alex Galanos <agalanos@lambrian.com>
Cc: Colleen de Matta <CdeMatta@rawnarch.com>; Mark Borreliz <mborreliz@rawnarch.com>; Tony Guigli <tguigli@brooklinema.gov>; andyvo@hillintl.com; Parks, Ian <IanParks@hillintl.com>; Kalous, Paul (PaulKalous@hillintl.com) <PaulKalous@hillintl.com>; Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: RE: BROOKLINE HS_ Tiles Proposal

Hi Alex,

There is a total of 480 sq ft of tile to be installed on this project and 5,100 sq ft of walls to be cleaned. Please ask the subcontractor to separate the cleaning/repair of existing cost from the cost of installing new and/or salvaged tile.

Thank you,

Andy

Andrew Jonic AIA

July 14, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
 115 Greenough Street
 BROOKLINE , MA 02445

PCO #08

OBJECT:
 Demolition of Corridor Fire Doors @ Phase 1, not shown on drawings, Per RFI 011 response.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
Quote:						
	See NG ENVIRONMENTAL proposal , date 06/16/2022	LS	1	\$2,092.00	\$2,092.00	
	Subtotal				\$2,092.00	
	GC Fees	%	10.00%		\$209.20	
	Subtotal				\$2,301.20	
	Bond Fee (1.5%) - ADD	%	1.50%		\$34.52	
	TOTAL				\$2,335.72	\$2,335.72
					SAY:	\$2,336.00

TOTAL ADD AMOUNT: Two Thousand Three Hundred Thirty Six Dollars.

Sincerely,

Alex Galanos - Project Manager
 Lambrian Construction, Corp




Hill recommended for ToB approval

Recommended for ToB approval.
 Andy Jonic
 7/14/2022



NG Environmental Contractors, Inc.

Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/16/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: COR # 2 Shoring

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of **\$ 2,194.37** (Two Thousand One Hundred Ninety-Four Dollars and Thirty-Seven Cents) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK

Man Hours	20
Rate per hour	\$ 68.00
Sub Total	\$ 1,360.00
Burden (35.03%)	\$ 476.41
Total Labor	\$ 1,836.41
Materials	\$ 00.00
Equipment	\$ 150.00
Disposal	\$ 0.00
Sub Total	\$ 1,896.41
OH \$ P (15%)	\$ 297.96
Gran Total:	\$ 2,194.37

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

WORK ORDER FORM

GENERAL CONTRACTOR: LAMBRIAN CONSTRUCTION

PROJECT NAME: BROOKLINE HIGH SCHOOL

DATE: 05 / 12 / 2022
Month Day Year

PROJECT LOCATION: 115 Greenough st. Brookline, Ma

Day of the Week:
 Monday Tuesday Wednesday Thursday Friday
 Saturday Sunday

ASBESTOS DEMOLITION LEAD HAZMAT MOLD

No	Name	Hours	Equipment	Material
1	Danilo Galicia	4		
2	Alexander Hernandez	4		
3	Antonio Arana	4		
4	Jorge Paul Ortega	4		
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
TOTAL HOURS:		16		

16 HOURS

Activity # 1: Demo partition on hallway (fire doors casing)

Activity # 2:

Activity # 3:

Activity # 4:

I do hereby authorize
NG ENVIRONMENTAL CONTRACTORS INC
To perform the above-described work

[Signature] 5-13-2022

GC Representative -Signature

Supervisor-Signature
NG Environmental Contractors Inc



Lambrian Construction Corp.
 420 Turnpike Street
 Canton, Massachusetts 02021
 P: (781) 461-1100
 F: 781 461-9885

**Project: 22-009 BROOKLINE High School Expansion -
 3rd Floor Renovation & Quad Repairs**
 115 Greenough Street
 BROOKLINE, Massachusetts 02445

RFI #11: Corridor partition & Doors - Demo status

Status	Open		
To	Submittals Admin WRA (William Raw Associates, Architects Inc.)	From	Alexandre Galanos (Lambrian Construction Corp.) 420 Turnpike Street Canton, Massachusetts 02021
Date Initiated	May 3, 2022	Due Date	May 6, 2022
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Mark Borreliz (William Raw Associates, Architects Inc.), James Cusolito (Lambrian Construction Corp.), Colleen DeMatta (William Raw Associates, Architects Inc.), Theodore Eliopoulos (Lambrian Construction Corp.), Alexandre Galanos (Lambrian Construction Corp.), Nolberto Galicia (NG Environmental Contractors LLC), Tony Guigli (TOWN OF BROOKLINE), Andrew Jonic (William Raw Associates, Architects Inc.), Paul Kalous (Hill International, Inc.), James Lambrianidis (Lambrian Construction Corp.), Mark Sacco (TOWN OF BROOKLINE), Robert Veilleux (NG Environmental Contractors LLC), Andy Vo (Hill International, Inc.), Martin Warrington (Hill International, Inc.), Robert Wear (William Raw Associates, Architects Inc.), Anthony Whitman (Lambrian Construction Corp.)		

Activity

Question

Question from Alexandre Galanos Lambrian Construction Corp. on Tuesday, May 3, 2022 at 05:00 PM EDT
 Per Demo contractor, the corridor partitions and doors were not shown to be removed on the drawings.
 Per our field meeting with the architect on Monday 5/2, Lambrian was informed that these doors and partitions need to be demolished.
 See photos and email attached.
 Please advise how to proceed

Attachments
[RFI011_BHS_photo2.jpg](#), [RFI011_BHS_photo1.jpg](#), [RFI 11 NG environmental.pdf](#)

WR A Response:

1. The northern portion of the non-structural archway was shown to be demolished in the demolition drawings. Please see A008 and A003.
2. The doors and partitions for the remainder of the non-structural archway should be demolished.

See additional comments on the attached photos.

-Andy Jonic
 WRA
 5/5/22

Alex Galanos

From: Nolberto Galicia <ngalicia@ngenvironmental.com>
Sent: Tuesday, May 3, 2022 4:38 PM
To: Alex Galanos; Nolberto Galicia; David Cacciola; Dane Hanson; Nick Rio; Anthony Whitman; James Cusolito; Jim Lambrianidis
Subject: RE: BROOKLINE_Demo Door at Corridor

Hi Alex,
This doors and partitions was supposed to stay at the original drawings. So how you want to proceed submit a COR or T&M.

Please advise.

Thanks

NG

Sent from my T-Mobile 5G Device

----- Original message -----

From: Alex Galanos <agalanos@lambrian.com>
Date: 5/3/22 4:24 PM (GMT-05:00)
To: Nolberto Galicia <ngalicia@ngenvironmental.com>, Robert Veilleux <rveilleux@ngenvironmental.com>, David Cacciola <david.cacciola@gmail.com>, Dane Hanson <dhanson@eecne.com>, Nick Rio <nickr@pjdionne.com>, Anthony Whitman <a Whitman@lambrian.com>, James Cusolito <jcusolito@lambrian.com>, Jim Lambrianidis <jlambrianidis@lambrian.com>
Subject: BROOKLINE_Demo Door at Corridor

To demo, HVAC, electrical and plumbing trades:

Per Architect's site visit last Monday 5/2, these doors and partitions at corridor need to be demolished.

Please coordinate all necessary disconnections (if any) in order for Demo to proceed

Please coordinate with the site superintendents as needed.

Tony Whitman – Shift 1 superintendent – cell: (978) 502-0464

Jim Cusolito – Shift 2 superintendent – cell: (781) 662-4273

Thank you,

ALEX GALANOS

Project Manager / Estimator

Lambrian Construction Corp.

420 Turnpike Street

Canton, MA 02021

T. 781-461-1100

F. 781-461-9885



Sent from my Verizon, Samsung Galaxy smartphone



PER THIS
RFI REMOVE
THE
REMAINDER
OF THIS
ARCHWAY
AND DOORS

SHOWN ON
DEMOLITION
PLANS TO
BE
REMOVED.



PER THIS
RFI REMOVE
THE
REMAINDER
OF THIS
ARCHWAY
AND DOORS

SHOWN ON
DEMOLITION
PLANS TO
BE
REMOVED.

July 14, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE , MA 02445

PCO #10

OBJECT:
Demolition of Corridor Doors Not Show on Drawings between Rooms 368 & 373, per RFI 058 Response.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	TOTAL
Quote:						
	See NG ENVIRONMENTAL proposal , date 06/30/2022	LS	1	\$1,007.84	\$1,007.84	
	Subtotal				\$1,007.84	
	GC Fees	%	10.00%		\$100.78	
	Subtotal				\$1,108.62	
	Bond Fee (1.5%) - ADD	%	1.50%		\$16.63	
	TOTAL				\$1,125.25	\$1,125.25
					SAY:	\$1,125.00

TOTAL ADD AMOUNT: One Thousand One Hundred Twenty Five Dollars.

Sincerely,

Alex Galanos - Project Manager
 Lambrian Construction, Corp



Recommended for Town of Brookline approval
 7/14/22
 A Jonic



Hill recommended for ToB approval.



NG Environmental Contractors, Inc.

Asbestos Abatement · Lead Paint · Selective Demolition · Mold · Haz-Mat

Date: 06/30/2022

To Alex Galanos
Estimator/Project Manager
Lambrian Construction

Project: Brookline High School

Re: COR # 5 Demo Corridor fire case no in plans

PROPOSAL SUMMARY:

NG Environmental Contractors, LLC is pleased to submit this proposal for the aforementioned project, to be completed for the lump sum of **\$1,007.84** (One Thousand Seven Dollars and Eighty-Four Cents) for the scope or work listed below in this proposal. NG Environmental Contractors will supply all labor, equipment, materials, and disposal to complete the scope of work listed below. NG Environmental Contractors will require the owner to provide power and water to complete this scope of work listed in this proposal. **Please note:** Proposal is based on prevailing wage rates and **void** after ninety (90) days.

SCOPE OF WORK

Man Hours		9
Rate per hour	\$	68.00
Sub Total	\$	612.00
Burden (35.03%)	\$	214.38
Total Labor	\$	826.38
Materials	\$	00.00
Equipment	\$	00.00
Disposal	\$	50.00
Sub Total	\$	876.38
OH \$ P (15%)	\$	131.46
Gran Total:	\$	1,007.84

Respectfully submitted

Nolberto Galicia

NG Environmental Contractors Inc

WORK ORDER FORM

GENERAL CONTRACTOR: LAMBRIAN CONSTRUCTION

PROJECT NAME: BROOKLINE HIGH SCHOOL

DATE: 06 / 28 / 2022
Month Day Year

PROJECT LOCATION: 115 Greenough st. Brookline, Ma

Day of the Week:
 Monday Tuesday Wednesday Thursday Friday
 Saturday Sunday

ASBESTOS
 DEMOLITION
 LEAD
 HAZMAT
 MOLD

No	Name	Hours	Equipment	Material
1	Ismar Sanchunelli	3	-Sawzall	
2	Rigoberto Reyes	3		
3	Jorge Aquino	3		
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
TOTAL HOURS:				

Activity # 1: Demo corridor fire case (not in plans) Doors

Activity # 2:

Activity # 3:

Activity # 4:

I do hereby authorize
NG ENVIRONMENTAL CONTRACTORS INC
 To perform the above-described work


GC Representative -Signature


 Supervisor-Signature
NG Environmental Contractors Inc



Lambrian Construction Corp.
 420 Turnpike Street
 Canton, Massachusetts 02021
 P: (781) 461-1100
 F: 781 461-9885

**Project: 22-009 BROOKLINE High School Expansion -
 3rd Floor Renovation & Quad Repairs**
 115 Greenough Street
 BROOKLINE, Massachusetts 02445

RFI #58: Door & wall Demo @ Corridor Phase 1

Status	Open		
To	Submittals Admin WRA (William Raw Associates, Architects Inc.)	From	Alexandre Galanos (Lambrian Construction Corp.) 420 Turnpike Street Canton, Massachusetts 02021
Date Initiated	Jun 27, 2022	Due Date	Jun 27, 2022
Location		Project Stage	Course of Construction
Cost Impact	Yes (Unknown)	Schedule Impact	No
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Robert Veilleux (NG Environmental Contractors LLC)		
Copies To	Vicky Arana (NG ENVIRONMENTAL CONTRACTORS INC), Mark Borreliz (William Raw Associates, Architects Inc.), James Cusolito (Lambrian Construction Corp.), Colleen DeMatta (William Raw Associates, Architects Inc.), Theodore Eliopoulos (Lambrian Construction Corp.), Alexandre Galanos (Lambrian Construction Corp.), Nolberto Galicia (NG Environmental Contractors LLC), Tony Guigli (TOWN OF BROOKLINE), Andrew Jonic (William Raw Associates, Architects Inc.), Paul Kalous (Hill International, Inc.), James Lambrianidis (Lambrian Construction Corp.), Mark Sacco (TOWN OF BROOKLINE), Andy Vo (Hill International, Inc.), Martin Warrington (Hill International, Inc.), Robert Wear (William Raw Associates, Architects Inc.)		

Activity

Question

Question from Alexandre Galanos Lambrian Construction Corp. on Monday, Jun 27, 2022 at 12:21 PM EDT

URGENT

Per attached Drawing A003, doors and Wall in corridor Phase1 are not shown to be demolished. Dwg A023 shows tiles only to be demolished.

Please Confirm demolition of entire wall and doors.

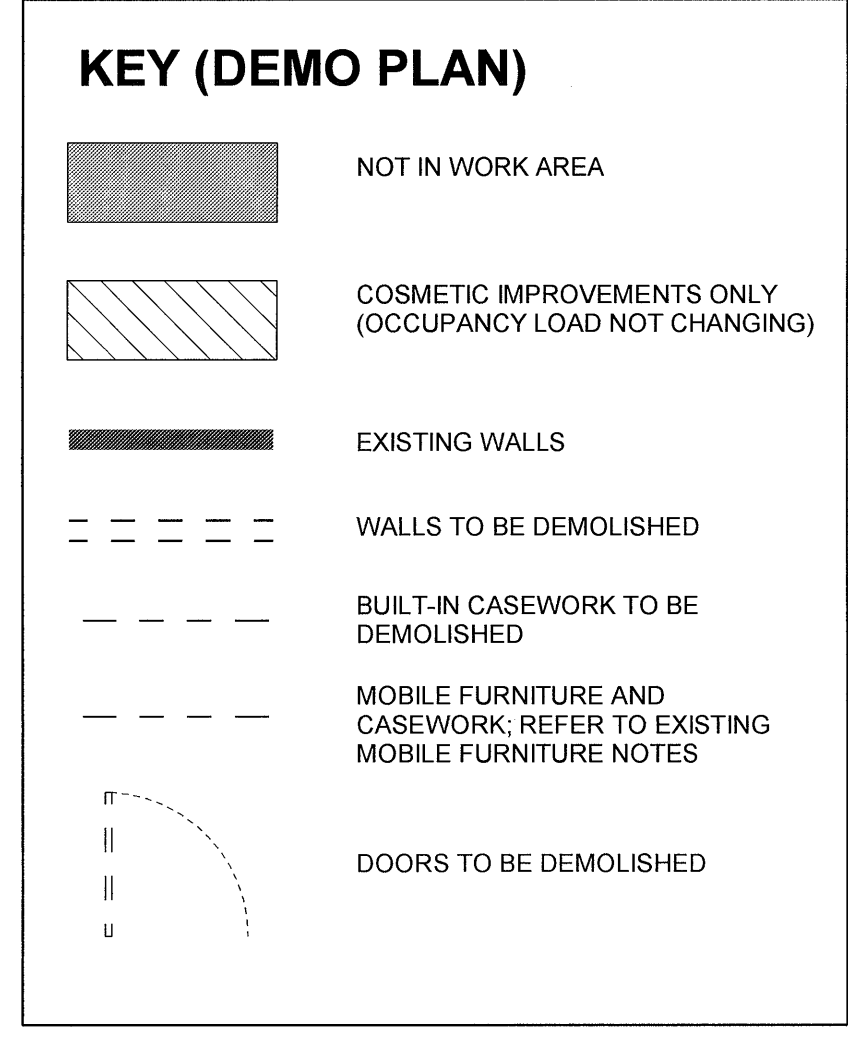
Attachments

[A023.pdf](#), [RFI058_BHs_Door Demo @ Corridor Ph1.jpg](#), [A003.pdf](#)

Awaiting an Official Response

Demolish entire wall and doors.

Mark Borreliz, AIA WRA 2022-06-27



EXISTING MOBILE FURNITURE NOTES

- (024100) CATALOG ALL FURNITURE & MOBILE CASEWORK BY ROOM BEFORE BEGINNING RENOVATION
- SCHOOL TO MOVE AND STORE ALL FURNITURE & MOBILE CASEWORK FOR DURATION OF CONSTRUCTION
- (024100) REVIEW ALL FURNITURE & MOBILE CASEWORK WITH ARCHITECT & OWNER TO SELECT ITEMS THAT SHALL BE RETURNED TO INDIVIDUAL ROOMS AND ITEMS THAT SHALL BE DISCARDED. COMPARE DEMO ELEVATIONS & ENLARGED DEMOLITION PLANS WITH PROPOSED PLANS TO QUANTIFY SCOPE OF WORK.
- (060420) RETURN ARCHITECT AND OWNER-SELECTED FURNITURE AND MOBILE CASEWORK TO CATALOG LOCATION. COMPARE DEMO ELEVATIONS & ENLARGED DEMOLITION PLANS WITH PROPOSED PLANS TO QUANTIFY SCOPE OF WORK.

THE NOTES ABOVE DESCRIBE A PROCESS THAT WILL BE UNDERTAKEN AT THE COMMENCEMENT OF THE PROJECT AND WILL INVOLVE THE OWNER, ARCHITECT, GENERAL CONTRACTOR, DEMOLITION SUB-CONTRACTOR, AND DIVISION 06 & 09 FINISH SUB-CONTRACTORS. AS PART OF THE INITIAL CATALOGING PROCESS, THE OWNER AND ARCHITECT WILL IDENTIFY SPECIFIC FURNITURE & MOBILE CASEWORK THAT WILL REMAIN AND/OR BE SALVAGED FOR REUSE AS PART OF THE NEW WORK. PIECES NOT SELECTED DURING THIS PROCESS SHALL BE DISCARDED.

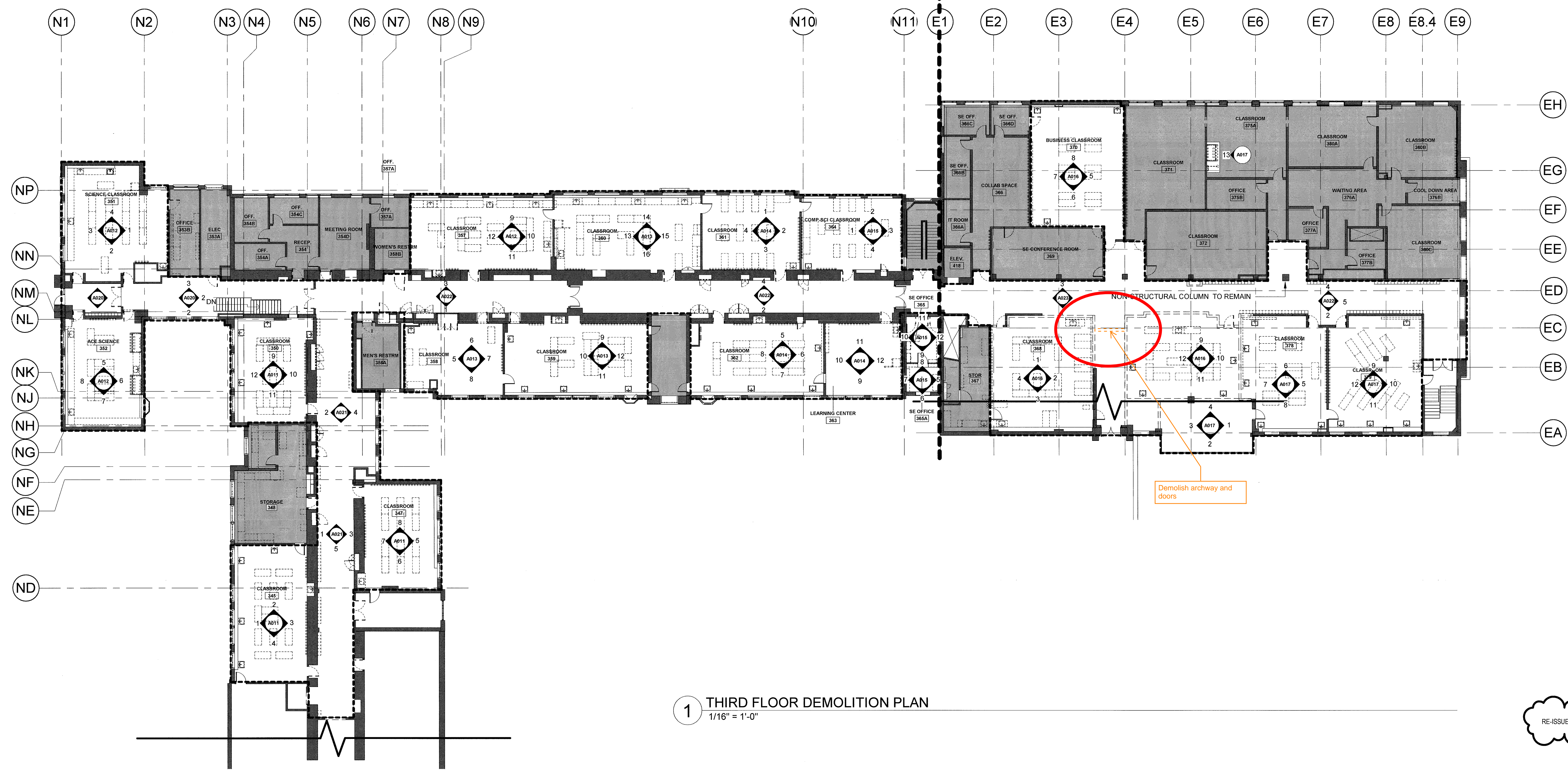
GENERAL NOTES

- (013516) EXISTING-TO-REMAIN WALLS, DOORS, SYSTEMS, STRUCTURE, AND OTHER BUILDING COMPONENTS SHALL BE PROTECTED FROM DAMAGE FOR THE DURATION OF THE DEMOLITION AND CONSTRUCTION WORK.
- (013516) EXISTING BUILDING SYSTEMS OUTSIDE OF THE IMMEDIATE WORK AREA SHALL BE KEPT ACTIVE AND PROTECTED, EXCEPT AS INDICATED OR AS REQUIRED TO PERFORM THE WORK INDICATED IN THE DOCUMENTS. PROVIDE OWNER WITH 48 HOURS NOTICE PRIOR TO ANY SHUTDOWN OF SYSTEMS OUTSIDE THE WORK AREA.
- (042000, 099000) WHERE EXISTING WALLS OR PORTIONS THEREOF ARE CALLED TO BE DEMOLISHED, EXISTING ADJACENT CONSTRUCTION TO REMAIN SHALL BE REPAIRED, PATCHED, AND PAINTED AS REQUIRED TO RESTORE ITS CONDITION TO AN EQUIVALENT LEVEL OF QUALITY AND FINISH AS NEW WORK.
- (024100) ROUGH OPENINGS CUT INTO EXISTING WALLS TO ACCOMMODATE NEW DOORS SHALL BE 1" WIDER AND 1/2" TALLER THAN THE DOOR FRAME DIVISION, TYP. EXAMPLE - FOR A 3'-4" X 7'-2" FRAME DIMENSION, THE DEMOLISHED ROUGH OPENING SHALL BE 3'-5" X 7'-2 1/2". (REF. NEW DOOR SCHEDULE AS REQ'D.)
- (024100) ALL MATERIALS TO BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL MASSACHUSETTS STATE REGULATIONS.
- OWNER TO SALVAGE ALL DESKS, CHAIRS, AND TEACHER STATIONS PRIOR TO CONSTRUCTION
- (024100) SALVAGE ALL FIRE EXTINGUISHERS AND BLANKET CABINETS WITHIN WORK AREA AND STORE/PROTECT THEM FOR RE-INSTALLATION.
- (024100) REMOVE ALL REMAINING CLIPS/HANGERS FROM WALLS.
- (024100) REMOVE ALL POSTERS, TAPE, FOLDER HOLDERS AND PIN-UP STRIPS FROM WALLS
- (024100) FOR INFORMATION ON DEMO OF CEILINGS, SEE RCPS, LIGHT FIXTURES, DIFFUSERS, SPRINKLERS, AND CEILING FANS TO BE REMOVED WHERE CEILINGS ARE DEMOLISHED
- (024100, DIV 21, 22, 23, 26) FOR DEMO OF EXISTING BUILDING SYSTEMS, SEE ARCH, M, E, P, AND FP DEMO DRAWINGS
- (024100) SALVAGE EXISTING WOOD BASE AND WALL TRIM FROM DEMOLISHED WALLS AND STORE/PROTECT IN PROJECT AREA. FURNISH WOOD BASE TO BE REMOVED FOR SELECTIVE RE-INSTALLATION. ARCHITECT TO REVIEW SALVAGED WOOD BASE AND TRIM, AND SELECT PIECES FOR INCLUSION IN PROJECT.
- (024100) REMOVE AND SALVAGE ALL WIRELESS ACCESS POINTS AND WALL MOUNTED TELEPHONES
- (024100) SALVAGE BLUE HALLWAY TILE WHEN PRESENT ON A WALL TO BE DEMOLISHED
- (024100) REMOVE ALL WINDOW SHADES AND SHADE ENCLOSURES
- (024100) REMOVE ALL SPEAKERS, ELECTRICAL DEVICES, AND ELECTRICAL CONDUIT ENCLOSURES (SEE ELEC DWGS)
- (024100) REMOVE ALL CLOCKS AND ASSOCIATED BOXES AND CONDUIT
- (024100) REMOVE AND SALVAGE ALL FLAGS, REMOVE AND DISPOSE OF ALL FLAG MOUNTS. ARCHITECT TO REVIEW SALVAGED FLAGS, AND SELECT PIECES FOR INCLUSION IN PROJECT
- (024100) REMOVE ALL CHALKBOARDS, TACKBOARDS AND WHITEBOARDS. REMOVE ANY ADHESIVES AND MOUNTING MATERIALS. SALVAGE ALL BOARD TRIM AND REMOVE ANY DEVICES OR PIN-UP STRIPS
- (024100) REMOVE AND DISPOSE ALL AC UNITS FROM WINDOWS
- (024100) REMOVE AND SALVAGE ALL PROJECTORS
- (024100) REMOVE ALL GAS NOZZLES AND CAP (SEE PLUMBING DWGS)
- (024100) REMOVE ALL FINISH FLOORS AND UNDERLAYMENT.
- (096810) GRIND DOWN CEMENTITIOUS SLAB TOPPING 1/4"-1/2".
- (024100) REMOVE ALL MOVABLE CASEWORK
- (024100) REMOVE ALL ELECTRICAL PULL-DOWNS FROM CEILING (SEE ELEC DWGS)
- (024100) REMOVE ALL VINYL BASE
- (024100) REMOVE ALL FIN TUBE ENCLOSURES, COUNTERTOPS AND GRILLES. ALL FRAMING TO REMAIN (UNISTRUT, STEEL ANGLES, FASTENERS, AND WOOD FURRING AT UNISTRUT). REMOVE ALL GARBAGE, VACUUM FINS.
- (024100) REMOVE ALL EMERGENCY SHOWER AND EYEWASH STATIONS AND TERMINATE PLUMBING PER PLUMBING DWGS
- (024100) REMOVE ALL PLUMBING FIXTURES (SEE PLUMBING DWGS)
- (024100) REMOVE ALL COUNTERS, BACKSPLASHES, CABINETRY, AND BUILT-IN CASEWORK. SALVAGE FRAMING (UNISTRUT, STEEL ANGLES, FASTENERS, AND WOOD FURRING AT UNISTRUT).
- (024100) REMOVE ALL WALLPAPER AND ADHESIVES. CLEAN WALL TO PREP FOR PAINTING
- REFER TO A824 & A825 FOR DEMOLITION NOTES ON QUAD GATES

CLASSROOMS WEST OF E1 - REMOVE FINISH FLOOR (SUBSTRATE TO REMAIN AND WOOD WALL BASE TO REMAIN OR BE REMOVED AND SALVAGED, SEE DEMO ELEVATIONS) AT LOCATIONS TO RECEIVE NEW FINISH FLOORING

EAST OF E1 - DEMOLISH FINISHED FLOOR AND UNDERLAYMENT. GRIND DOWN CEMENTITIOUS SLAB TOPPING 1/4"-1/2". GRINDING OF ENTIRE CONCRETE SLAB BY 096510 RESILIENT FLOOR INSTALLER

CORRIDORS WEST OF E1 - DEMOLISH FINISHED FLOOR AND UNDERLAYMENT. GRIND DOWN CEMENTITIOUS SLAB TOPPING 1/4"-1/2". GRINDING OF ENTIRE CONCRETE SLAB BY 096510 RESILIENT FLOOR INSTALLER



1 THIRD FLOOR DEMOLITION PLAN
1/16" = 1'-0"

RE-ISSUED AS PART OF PERMIT SET



WRA PROJECT # 21706

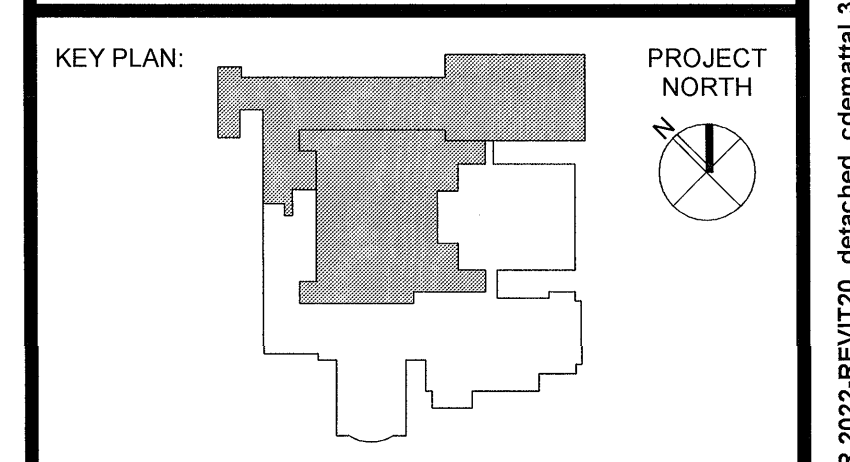
TOWN OF BROOKLINE
BROOKLINE HIGH SCHOOL
EXPANSION
BROOKLINE, MA 02445

THIRD FLOOR RENOVATION AND QUAD REPAIR

- ARCHITECT**
William Rawlin Associates, Architects, Inc. (617) 423-3470
27 School Street, Second Floor
Boston, MA 02109
- MEP, FP, IT, SECURITY ENGINEER**
Garza Galuska Desousa, Inc. (508) 998-5700
375 Faunce Corner Road, Suite D
Dartmouth, MA 02741
- ACOUSTICS & AUDIOVISUAL**
Acortech Inc. (617) 499-8000
33 Moulton Street
Cambridge, MA 02138
- INTERIOR DESIGN, FF&E**
Shifren Associates, Inc. (617) 723-5164
77 N. Washington Street
Boston, MA 02114
- CODE CONSULTING**
Hastings Consulting (508) 397-8417
142 Hanlon Road
Holliston, MA 01746
- COST ESTIMATOR**
PM&C Cost Estimating (781) 740-807
20 Downer Ave Suite 1C,
Hingham, MA 02043
- LIGHTING DESIGNER**
Horton Lees Brogden Lighting Design (857) 702-8830
233 Lewis Wharf
Boston, MA 02110
- SPECIFICATIONS**
Kalin Associates (617) 964-5477
1121 Washington St.
West Newton, MA 02465
- HAZMAT/ABATEMENT**
Universal Environmental Consultants (508) 628-5486
12 Brewster Rd.
Framingham, MA
- SKNAGE**
Whitney Velgas (781) 449-1351
292 Reservoir St
Needham, MA 02494
- LANDSCAPE ARCHITECT**
Lemon Brooke LLC. (978) 222-3700
31 Oxbow Road
Concord, MA 01742
- CIVIL ENGINEER**
Nisch Engineering, Inc. (617) 338-0063
2 Center Plaza, Suite 430
Boston, MA 02108

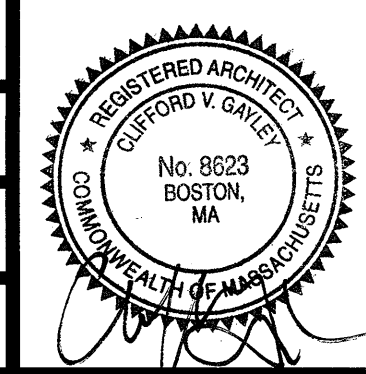
01/28/2022
CONTRACT DOCUMENTS

REV. NO.	DATE	REVISION
2	02/11/2022	ADDENDUM #1
5	03/30/2022	PERMIT SET



DRAWING TITLE:
THIRD FLOOR DEMOLITION PLAN

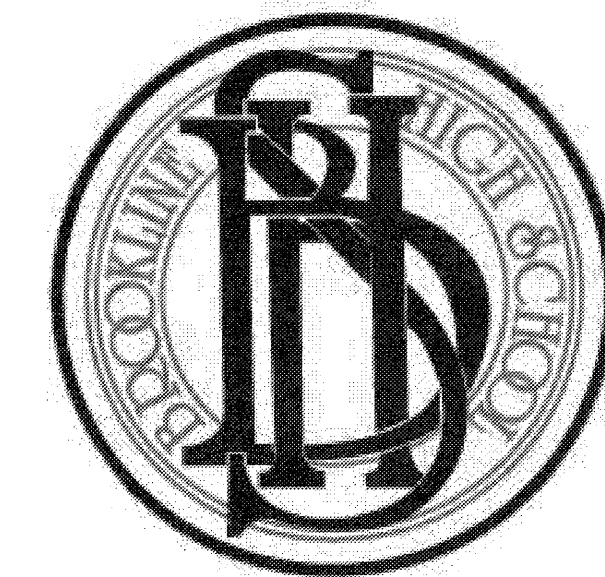
DRAWN BY: MB
CHECKED BY: AJ
SCALE: 1/16" = 1'-0"
DATE: 01/28/2022



DRAWING NUMBER:

A003

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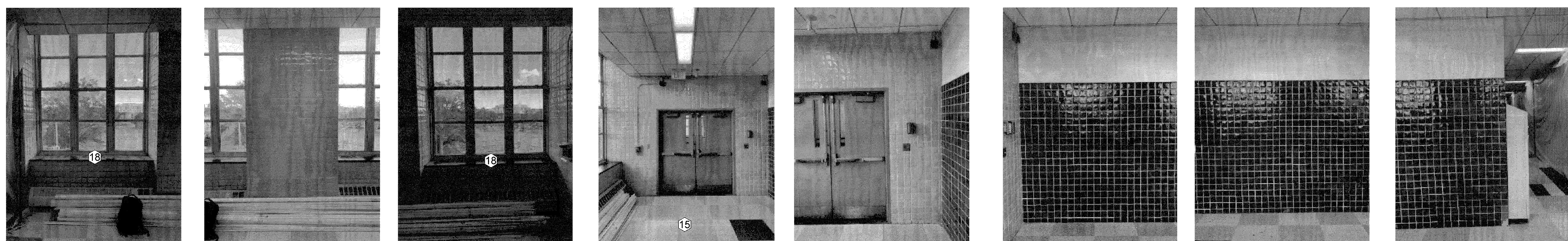


WRA PROJECT # 21706

TOWN OF BROOKLINE
BROOKLINE HIGH SCHOOL
EXPANSION
BROOKLINE, MA 02445

THIRD FLOOR RENOVATION
AND QUAD REPAIR

- ARCHITECT**
William Raw Associates, Architects, Inc. (617) 423-3470
27 School Street, Second Floor
Boston, MA 02110
- MEP, FP, IT, SECURITY ENGINEER**
Garcia Galuska Desousa, Inc. (508) 998-5700
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Boston, MA 02108

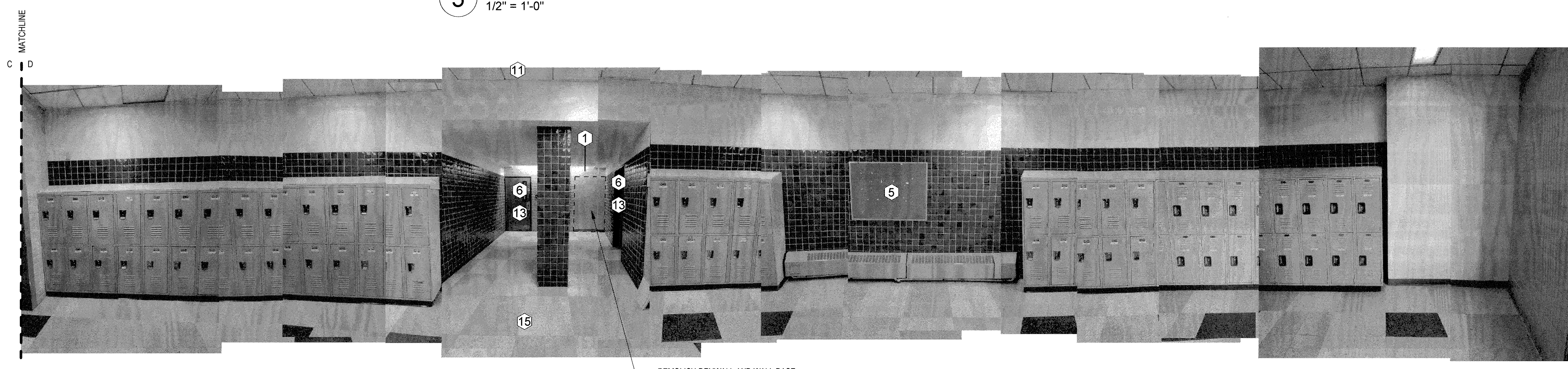


SEE A020 FOR GENERAL NOTES

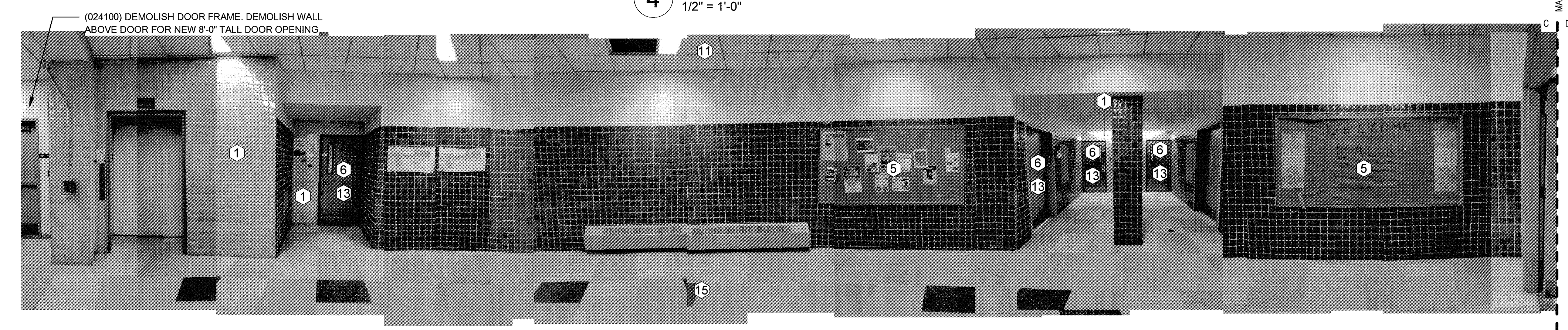
KEYNOTES

- 1 DEMOLISH TILE
- 2 REMOVE AND SALVAGE TILE
- 3 REMOVE FIN TUBE COVER
- 4 DEMOLISH BUILT IN CASEWORK
- 5 DEMOLISH PIN UP BOARD
- 6 REMOVE DOOR HARDWARE
- 7 DEMOLISH DRYWALL. SALVAGE DOOR AND FRAME
- 8 REMOVE WALL ELEMENT NOT PART OF DRYWALL OR BRICK. PATCH BRICK AND DRYWALL
- 9 DEMOLISH TILE AND BACKUP WALL
- 10 SALVAGE WATER FOUNTAIN - SEE P DWGS
- 11 REMOVE ALL ACOUSTIC CEILING TILE, CEILING GRIDS, AND PERIMETER ALUMINUM CEILING ANGLES. REMOVE ALL CEILING HANGERS AND PERIMETER TRIM FASTENERS.
- 12 SALVAGE BRICK
- 13 REMOVE DOOR
- 14 REMOVE WALL BASE
- 15 REMOVE FINISH FLOOR. REMOVE UNERLAYMENT AND GRIND CEMENTITIOUS SLAB TOPPING BY 1/4"-1/2". GRINDING OF ENTIRE CONCRETE SLAB BY 096510 RESILIENT FLOOR INSTALLER
- 16 SALVAGE AED / FE CABINET
- 17 REMOVE CONDUIT/ELEC DEVICES AND ABANDONED BOXES/COVER PLATES- SEE E DWGS - PATCH AT DRYWALL LOCATIONS AND INFILL AT BRICK/TILE LOCATIONS
- 18 DEMOLISH WINDOW SILL
- 19 REMOVE WINDOW SHADE
- 20 DEMOLISH LOCKERS

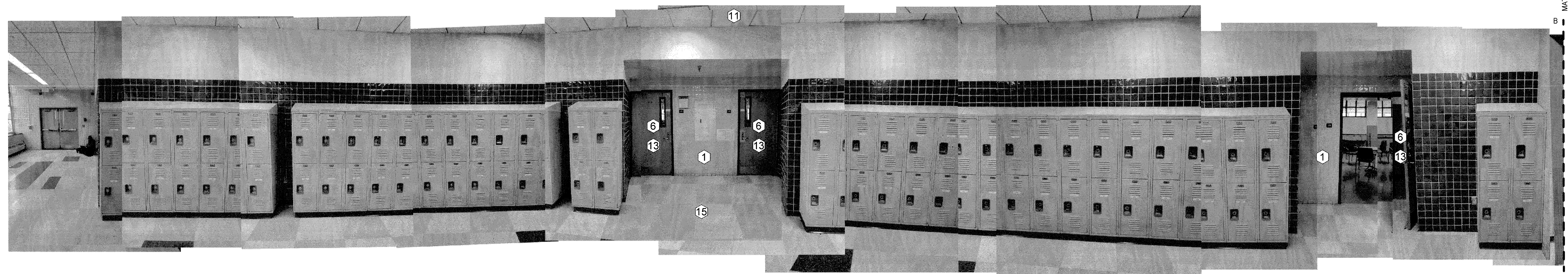
5 DEMO ELEVATION - EAST CORRIDOR - EAST 1
1/2" = 1'-0"



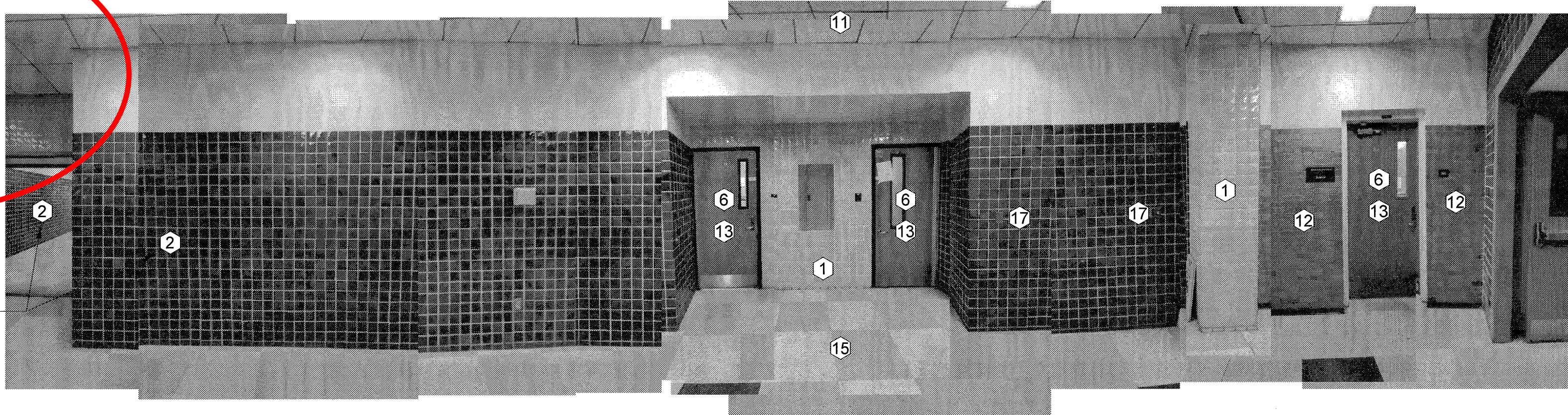
4 DEMO ELEVATION - EAST CORRIDOR - NORTH 2
1/2" = 1'-0"



3 DEMO ELEVATION - EAST CORRIDOR - NORTH 1
1/2" = 1'-0"



2 DEMO ELEVATION - EAST CORRIDOR - SOUTH 2
1/2" = 1'-0"



1 DEMO ELEVATION - EAST CORRIDOR - SOUTH 1
1/2" = 1'-0"



RE-ISSUED AS PART OF PERMIT SET

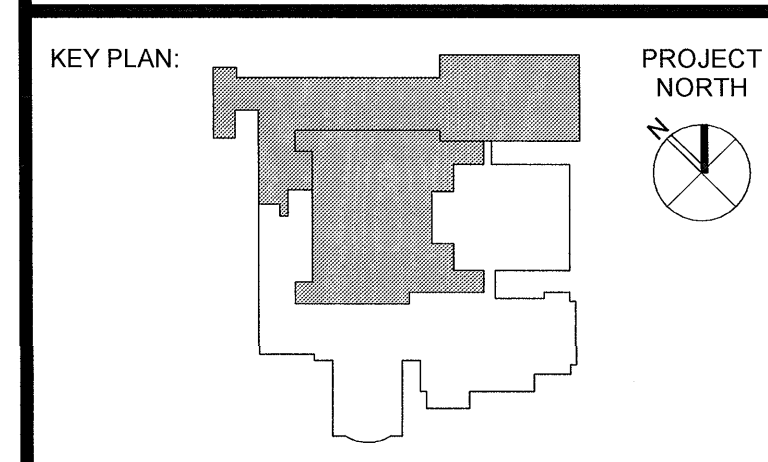
SALVAGE TILE FROM WALLS TO BE DEMOLISHED. SEE DEMO PLANS FOR LOCATIONS

SALVAGE TILE FROM WALLS TO BE DEMOLISHED. SEE DEMO PLANS FOR LOCATIONS

01/28/2022
CONTRACT DOCUMENTS

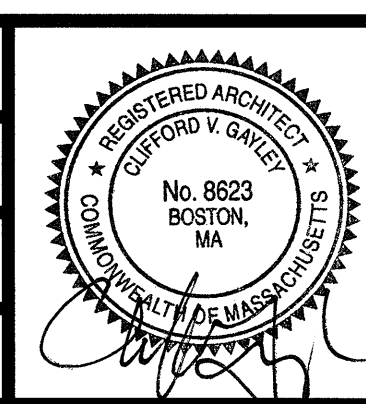
REVISIONS:

REV. NO.	DATE	REVISION
3	02/18/2022	ADDENDUM #3
5	03/30/2022	PERMIT SET



DRAWING TITLE:
DEMOLITION ELEVATIONS - EAST CORRIDOR

DRAWN BY: MB
CHECKED BY: AJ
SCALE: As Indicated
DATE: 01/28/2022



DRAWING NUMBER:

A023

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November 11, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
 115 Greenough Street
 BROOKLINE, MA 02445

PCO #30 R

OBJECT:
Per RFI 71-R1 Response:
Provide P-LAM back panels @ the back of corridor benches (14 locations) - not shown on initial documents.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	Subtotal	TOTAL
Quote:							
	See WINDSOR's quote - dated 08/01/22, COR 2854-3R1	LS	1	\$19,160.00		\$19,160.00	
	See attached email, dated 11/11/22						
Materials: ADD							
	Wood Studs or Metal Studs supports 2x4	LF	700	\$0.95	\$665.00		
	Fasteners, Drill Bits, Glue, Etc.	LS	1	\$350.00	\$350.00		
	Subtotal				\$1,015.00	\$1,015.00	
Labor: ADD							
	Install Wood Studs and P-Lam back panels	hrs	56	\$83.42	\$4,671.52		
	2 carpenters @ 2 hrs per bench alcove - 14 Alcoves	%	30%		\$1,401.46		
	<i>Insurance and Tax on Labor (30%)</i>						
	Subtotal				\$6,072.98	\$6,072.98	
	SUBTOTAL					\$26,247.98	
	G.C. Fees (5%) - ADD	%	5.00%			\$1,312.40	
						\$27,560.37	
	Bond Fee (1.5%) - ADD	%	1.50%			\$413.41	
	SUBTOTAL					\$27,973.78	
	TOTAL						

SAY: \$27,974.00

TOTAL ADD AMOUNT: Twenty Seven Thousand Nine Hundred Seventy Four Dollars.

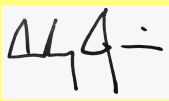


Hill recommends ToB approval

Sincerely,

Alex Galanos - Project Manager
 Lambrian Construction, Corp

Recommended for approval by the Town of Brookline
 November 11, 2022
 Andrew Jonic
 William Rawn Associates, Architects Inc.





Change Order Request

2458 - 3R1

To: Alex Galanos
Company: Lambrian
420 Turnpike Street
Canton, MA 02021
Phone: 781.461.1100

Date: 8/1/2022
Project: Brookline High School
Job #: 2458
Subject: RFI-71 Alcove Benches

The Contract is changed as follows:

Table with 3 columns: Description of Change, Amount, and sub-categories (Material, Profit, Overhead, Installation, Engineering, Other, Delivery). Includes a total amount of \$21,076.00.

Please note that work will not begin without an Authorized / Signed Change Order as this is only an Estimate

Alex Galanos

From: Thomas Heaney <TJH@windsorwoodworking.com>
Sent: Wednesday, November 9, 2022 1:02 PM
To: jimlambrianidis@lambrian.com; Alex Galanos
Subject: Bench backs
Attachments: COR 2458-3R1.pdf

Hi Jim,

Please see the attached COR for the backs of the benches. We can take off the overhead and profit to help reduce the cost but that is the most we can take off this number. Also please keep in mind that if another millworker or trade is to work on these benches that would void our warranty for them

Thank you

-Tom

November 3, 2022

WILLIAM RAWN ASSOCIATES, Architects Inc.
 27 School Street
 BOSTON, MA 02108

Project:
BROOKLINE HIGH SCHOOL - 3RD FLOOR RENOVATIONS & QUAD REPAIRS
115 Greenough Street
BROOKLINE , MA 02445

PCO #57

OBJECT:
F&L Landscaping
Per Field Bulletin 24: Replace Planting @ Quad.

Item #	DESCRIPTION	Unit	QTY	\$ / unit	Subtotal	Subtotal	TOTAL
--------	-------------	------	-----	-----------	----------	----------	-------

Quote:

See F&L Landscaping's Quote / PCO#1, dated 10/20/22 LS 1 \$1,212.00 \$1,212.00

Materials: ADD

N/A

Labor: ADD

N/A

	Subtotal				\$1,212.00		
G.C. Fees (5%) - ADD	%		5.00%		\$60.60		
Bond Fee (1.5%) - ADD	%		1.50%		\$19.09		
	TOTAL				\$1,291.69		

SAY: \$1,292.00


TOTAL ADD AMOUNT: One Thousand Two Hundred Ninety Two Dollars.

Sincerely,

Alex Galanos - Project Manager
Lambrian Construction, Corp

Recommended for approval by the Town of Brookline

11/03/2022
 Andrew Jonic
 William Rawn Associates



F & L Landscaping Corporation

10 Rex Drive
 Braintree, MA 02184
 Phone # 781-843-2522
 asullivan@fandllandscaping.com

Proposal



Proposal #
PCO#!
Date
10/20/2022

Brookline High School 115 Greenough St. Brookline, MA 02445

Web Site
www.FandLLandscaping.com

Description	Total
Lambrian Construction	
Brookline High School	
115 Greenough St, Brookline MA 02445	
We will provide the labor, materials and equipment to:	
-supply and install 1 each 5' Common Witch Hazel	
-supply and install 25 each 1 gallon Big Blue Lilyturf	
For the total lump sum of:	1,212.00
Thank you for considering our proposal.	Total \$1,212.00